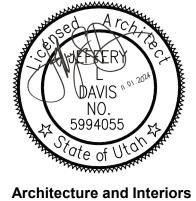
USDB Storefront Window Replacement 742 S Harrison Blvd Ogden, UT 84404





LOCATION PLAN NOT TO SCALE



MSRDesign 510 Marquette Avenue South, Suite 200 Minneapolis, MN 55402 | 612 375 0336

ADD ALTERNATE NOTES

SEE SPEC SECTION 01 23 00 FOR MORE INFORMATION REGARDING ADDITIVE ALTERNATES: LANGUAGE REGARDING WORK TO BE PERFORMED UNDER THE BASE BID HAS BEEN INCLUDED FOR

- BASE BID: A. REMOVE AND REPLACE EXISTING STOREFRONT WINDOWS WITHIN AREA OF WORK INDENTIFIED ON A101.
- B. PATCH AND REPAIR ADJACENT INTERIOR FINISHES AS REQUIRED FOR INSTALLATION OF NEW GLAZING SYSTEM.
- C. PREP NEW DOORS FOR REINSTALLATION OF EXISTING HARDWARE AND ASSOCIATED SECURITY AND ACCESS SYSTEMS. NEW PULLS MAY BE REQUIRED TO MEET CODE.

ADD ALTERNATE 01 - GLAZING SHOWN IN BLUE DIAGONAL HATCH ON ELEVATIONS: A. REMOVE AND REPLACE EXISTING STOREFRONT WINDOWS WITHIN AREA OF WORK INDENTIFIED ON A101.

- B. PATCH AND REPAIR ADJACENT INTERIOR FINISHES AS REQUIRED FOR INSTALLATION OF NEW GLAZING SYSTEM.
- C. PREP NEW DOORS FOR REINSTALLATION OF EXISTING HARDWARE AND ASSOCIATED SECURITY AND ACCESS SYSTEMS. NEW PULLS MAY BE REQUIRED TO MEET CODE. ADD ALTERNATE 02 - INTERIOR STOREFRONT DOOR REPLACEMENT:
- A. REPLACEMENT OF EXISTING INTERIOR VESTIBULE DOORS TO MEET ADA, SEE FLOOR PLAN FOR LOCATIONS. B. PREP NEW DOORS FOR REINSTALLATION OF EXISTING HARDWARE AND ASSOCIATED SECURITY

HATCH BELOW DENOTES AREAS OF ADDITIVE ALTERNATE 01 SCOPE, REVIEWS EXTENTS WITH ALTERNATE NARRATIVES PRIOR TO BID. CONTACT DFCM PM AND ARCHITECT WITH QUESTIONS OR DISCREPENCIES BETWEEN DISCIPLINES.

AND ACCESS SYSTEMS. NEW PULLS MAY BE REQUIRED TO MEET CODE.

ITEM DESCRIPTION	NOT REQUIRED	ON CONST. DOCUMENTS	DEFERRED SUBMITTAL	COMMENTS					
Architectural Components:									
Interior Nonstructural Walls & Partitions	Х								
Cantilever Elements (i.e. parapets, etc.)	X								
Exterior Nonstructural Wall Elements	Х								
Veneer	Х								
Penthouses	X								
Ceilings (i.e. suspended grid or hard-lid)	X								
Cabinets (i.e. storage cabinets, equip, etc.)	Х								
Access Floors	Х								
Storage Racks	Х								
Appendages & Ornamentations	Х								
Signs & Billboards	Х								
Other:									
Other:									
MEP Components:			-						
Fire Sprinklers	Х								
Mechanical Equipment (i.e. HVAC, fans, air handlers, boilers, furnaces, tanks, chillers, water heaters, heat exchangers, evaporators, engines, turbines, pumps, compressors, MFR equipment, etc.)	Х								
Electrical Equipment (i.e. generators, batteries, inverters, transformers, MCC, panel boards, switch gear, cabinets, etc.)	Х								
Elevator & Escalator Components	Х								
Communication Equipment, Computers, Instrumentation, and Controls	Х								
Roof-mounted Chimneys, Stacks, Cooling & Electrical Towers	Х								
Lighting Fixtures	Х								
Vibration Isolated Components	Х								
Piping & Conduit Systems	Х								
Ductwork (including in-line components)	Х								
Conveyors	X								
Cable Trays	Х								
Other:									
Other:									

NOTES:

- their own risk until plan review and inspection approval occurs.
- 3. The requirements for seismic restraint of nonstructural components cannot be satisfied by a general reference to
- reports, test data, and/or specifications to ensure code compliance.

DFCM PROJECT #25262230



State of Utah-Department of Administrative Services

DIVISION OF FACILITIES CONSTRUCTION AND MANAGEMENT 4315 South 2700 West, Floor 3/Taylorsville, Utah 84129-2128

NONSTRUCTURAL COMPONENT CHECKLIST

1. Deferred submittals for seismic restraint of nonstructural components must be submitted to the DFCM Building Official a minimum of two weeks prior to the planned installation in order to allow for plan review and forwarding to inspectors. In the event that the submittal is deficient additional time may become necessary.

2. When seismic restraint of non-structural components is installed prior to receiving DFCM approval it shall not be covered or concealed until receiving both plan review and inspection approval. Further, installers are proceeding at

Design Manuals. The design professional may utilize these manuals as a basis of their design, but must provide all supporting documentation to ensure that the design conforms to the requirements of ASCE 7-05, Chapter 13. 4. Submittals must include details of the proposed seismic restraint of nonstructural components. These details must show specific information relating to the materials, type, size, and locations of anchorages; materials used for bracing; attachment requirements of bracing to structure and component; and locations of transverse and longitudinal sway bracing and rod stiffeners. Submittals may also require structural calculations, engineering

Permit Set 10/25/2024

REVIEWED FOR CODE COMPLIANCE

Α		C (conti	nued)	E (contin	ued)	H (conti	nued)	Μ
A.F.F.	Above Finish Floor	CL	Centerline	ELEV	Elevator / Elevation (drawing view)	НŇ	Hollow Metal	ME
A.F.L.	Above Floor Level	CLNG	Ceiling	EMER	Emergency	HORZ	Horizontal	ME
ABV	Above	CLO	Closet	ENT	Entrance	HTR	Heater	ME
AC	Acoustic (al)	CLR	Clear (ance)	EO	Electrical Outlet	HVAC	Heating / Ventilation / Air Conditioning	ME
ACT	Acoustical (Ceiling) Tile	CM	Construction Manager	EQ	Equal	HYD	Hydrant	MF
ADD	Addendum (Addenda)	CMU	Concrete Masonry Unit	EQUIP	Equipment			MI
ADDL	Additional	CO	Clean Out	EXIST	Existing	I		MI
ADJ	Adjustable	COL	Column	EXP	Exposed	I.D.	Inside Diameter	MI
ADJCT	Adjacent	COM	Communication	EXT	Exterior	IN	Inch	MΠ
ADMIN	Administration	CONC	Concrete			INCL	Include (ing)	M
AL	Aluminum	COND	Condition	F		INFO	Information	MU
ALT	Alternate	CONF	Conference	F.F.E.	Finish Floor Elevation	INSUL	Insulation - rigid, batt, acoustic, etc	M١
ANC	Anchor	CONN	Connection	F.O	Face of	INT	Interior	
APC	Precast Concrete - Architectural	CONST	Construction	FA _	Fire Alarm			Ν
APPROX	Approximately	CONT	Continue (ous) (ation)	FD	Floor Drain	J		Ν
ARCH	Architectural	CORR	Corridor	FE	Fire Extinguisher	JAN	Janitor	NA
AUTO	Automatic	CSK	Countersunk	FEC	Fire Extinguisher Cabinets	JBOX	Junction Box	NI
AV	Audio Visual	CTR	Center	FFE	Furnishings, Fixture and Equipment	JST	Joist	NC
AVG	Average	CUH	Cabinet Unit Heater	FHC	Fire Hose Cabinets	JT	Joint	NC
AXFL	Access Floor	CW	Curtain Wall	FIN	Finish	•		NF
AXPNL	Access Panel			FIXT	Fixture	κ		NS
		D		FL	Floor (ing)	KIT	Kitchen	NT
в		D	Deep/Depth (Dimension)	FLASH	Flashing	KO	Knockout	
B.O	Bottom of	DBL	Double	FLEX	Flexible			0
BD _	Board	DEG	Degree	FND	Foundation	L		0A
BIT	Bituminous	DEMO	Demolition	FP	Fire Proofing	L	Long (Dimension)	0.
BLDG	Building	DEPT	Department	FPL	Fireplace	LAB	Laboratory	0.
BLKG	Blocking	DF	Drinking Fountain	FRP	Fiberglass Reinforced Plastic	LAM	Laminate, Lamination	OF
BM	Beam or Benchmark	DIA	Diameter	FRT	Fire Retardant Treated	LAV	Lavatory	OF
вот	Bottom	DIAG	Diagonal	FT	Foot or Feet	LB	Pound	Öŀ
BRG	Bearing	DIM	Dimension	FTG	Footing	LDR	Ladders	OF
BRK	Brick Masonry	DK	Deck (ing)	FTR	Fin Tube Radiation / Radiator	LF	Linear Foot	ŌF
BSMT	Basement	DL	Dead Load	FUR	Furring	LH	Left Hand	OF
BTWN	Between	DN	Down		5	LHR	Left Hand Reverse	OF
BUR	Built Up Roof	DR	Door	G		LIN	Linear	ŌF
	-	DS	Downspout	GA	Gauge	LINO	Linoleum	
С		DTL	Detail	GALV	Galvanized	LL	Live Load	Р
C.O.	Cased Opening	DW	Dishwasher	GBD	Gypsum Board	LOC	Location	PA
C.T.C.	Center To Center	DWG	Drawing	GC	General Contractor	LONG	Longitudinal	PA
CAB	Cabinet	DWL	Dowel	GEN	General / Generator	LTG	Lighting	PC
CAT	Category			GL	Glass / Glazing	LVR	Louver	PE
CF	Cubic Feet	Е		GLULAM			Eduver	PE
CFM	Cubic Feet Per Minute	Ē	East	0202/10		М		PL
CFMF	Cold Formed Metal Framing	Ē.O	Edge of	н		M.O.	Masonry Opening	PL
CFSF	Cold Formed Steel Framing	EA	Each	H	High/Height (Dimension)	MAS	Masonry	PL
CHNL	Channel	EF	Exhaust Fan	HB	Hose Bibb	MAS	Walk Off Mat	PL
CIPC	Cast-In-Place Concrete	EIFS	Exterior Insulation Finish System	HC	Handicap	MATL	Material	PL
	Circle	EL	Elevation (Level/Height indication)	HDR	Header	MATL	Maximum	PL
CIR								
CIR CJ	Control Joint	ELEC	Electric (al)	HDWR	Hardware	MDF	Medium Density Fiberboard	PL

SHT NO	SHEET NAME						
GENERAL							
G00	COVER						
G000	SHEET INDEX AND SYMBOLS						
ARCHITECT	JRAL DEMOLITION						
AD101	LEVEL 1 DEMOLITION PLAN						
ARCHITECTU	IRAI						
A101	LEVEL ONE						
A201 BUILDING ELEVATIONS							

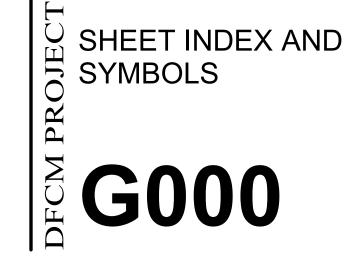
ID	DESCRIPTION	SPEC DATA
ALSF-1	ALUMINUM-FRAMED STOREFRONT	MFR: KAWNEER; PRODUCT: TRIFAB 451UT; GLAZING PLANE: CENTER; FRAMING SIZE: 4 1/2" X 2"; FINISH: ANODIZED; COLOR: BLACK; GLAZING: SEE IGU-1;
IGU-1	INSULATING GLASS UNIT	MFR: VITRO; PRODUCT: SOLARBAN 72 ACUITY; UNIT THICKNESS: 1"; EXTERIOR LITE: ACUITY; FILL CONTENT: AIR; INTERIOR LITE: ACUITY; COATING: LOW E; VLT: 67; SHGC: 0.28; U-FACTOR WINTER: 0.28;
IGU-1T	INSULATING GLASS UNIT	MFR: VITRO; PRODUCT: SOLARBAN 72 ACUITY; UNIT THICKNESS: 1"; EXTERIOR LITE: ACUITY; FILL CONTENT: AIR; INTERIOR LITE: ACUITY; COATING: LOW E; VLT: 67; SHGC: 0.28; U-FACTOR WINTER: 0.28;
SSF-1	SOLID SURFACE MATERIAL, SILL	MFR: WILSONART; PRODUCT: SOLID SURFACE; COLOR: OWNER SELECTED;

								ASSEM	BLY TYPE TAG
M (contin	nied)	P (contin	ued)	S (contin	nied)	w			
MDO	Medium Density Overlay	PNL	Panel	SPEC	Specifications	Ŵ	West	ROOF1	ROOF ASSEMBLY
MECH	Mechanical	PR	Pair	SS	Stainless Steel	Ŵ	Wide/Width (Dimension)		
MEMB	Membrane	PREFAB		STC	Sound Transmission Coefficient	Ŵ/	With		
MEZZ	Mezzanine	PRELIM	Preliminary	STD	Standard	W/O	Without	CLNG1	CEILING ASSEMBLY
MFR	Manufacturer	PRKG	Parking	STL	Steel	WC	Water Closet / Toilet	12' - 0")-	CEILING HEIGHT ABO\
MIN	Minimum	PSF	Pound per Square Foot	STN	Stone	WD	Wood		FLOOR LEVEL UNO
MIR	Mirror	PSI	Pound per Square Inch	STOR	Storage	WDCP	Wood Composite Panel		
MISC	Miscellaneous	PT	Paint	STRUCT		WDF	Framing - Interior Rough Carpentry	FLOR1	FLOOR ASSEMBLY
MTD	Mounted	PTN	Partition	SUBFL	Subfloor(ing)	WDW	Prefabricated Windows		
MTL	Metal	PVC	Polyvinyl Chloride	SUSP	Suspended	WGD	Wall and Door Protection		
MUL	Mullion			SYM	Symmetry, Symmetrical	WH	Water Heater		EXTERIOR WALL ASS
MW	Millwork	Q		SYS	System	WP	Waterproofing	1 1	EXTERIOR WALL ASS
		QTR	Quarter	010	oyotom	ŴT	Window Treatment		
N		QTY	Quantity	т		•••		T *	ACOUSTICAL RATED FIRE RATING
N	North	QTT	Quantity	Ť	Tread	х			- FIRE RATING
NA	Not Applicable	R		T&G	Tongue & Grooved	XJ	Expansion Joints		
NIC	Not In Contract	R	Radius or Riser	T. O	Top of	7.0			
NO	Number	R.O.	Rough Opening	TAN	Tangent				
NOM	Nominal	RCP	Reflected Ceiling Plan	TBD	To Be Determined				
NRC	Noise Reduction Coefficient	RD	Roof Drain	TBF	Thermally Broken Furring				
NSMF	Non-Structural Metal Framing	RECT	Rectangular	TBM	Thermal Break Material				
NTS	Not To Scale	REF	Refrigerator	TD	Trench Drain				
NIC		REG	Register/Registration	TEMP	Temporary	Г	DRAFTING SYMBOLS		
0		REINF	Reinforce (ment) (ing)	THK	Think (ness)	-			
ŎA	Overall	REQD	Required	THR	Threshold		1	^	
0.C.	On Center	REV	Revision	TPL	Triple			$\langle 1 \rangle$	
0.0. 0.D.	Outside Diameter	RH	Right Hand	TRTD	Treated	4	A101 2 MULTI - ELEVATION	ISSUANCE	REVISION ISSUANCE (AAA-###) WHE
OFCI	Owner Furnished - Contractor Installed	RHR	Right Hand Reverse	TYP	Typical		REFERENCE	(if needed)	ISSUANCE (AAA-###) WHE
OFOI	Owner Furnished - Owner Installed	RL	Railing	TZ	Terrazzo		Y	(, , , , , , , , , , , , , , , , , , ,	
OH	Overhead	RM	Room	12	10110220		3	\frown	
OPNG	Opening	RND	Round	U				(1)	KEYNOTE
OPP	Opposite	ROW	Right of Way	UC	Undercut			\bigcirc	
OPT	Option(al)	T(OW	Right of Way	UG	Underground		SIM		
OPTN	Operable Partition	S		UNFIN	Unfinished			\frown	
ORD	Overflow Roof Drain	S	South	UNO	Unless Noted Otherwise		A101 REFERENCE	(0)	GRID LINE
011D		SCHED	Schedule	UPH	Upholstery		Alui	\bigcirc	
Р		SD	Storm Drain	UR	Urinal				
PA	Public Address System	SECT	Section	UTIL	Utility			\sim	
PAR	Parallel	SF	Storefront / Square Foot	OTIL	Stinty			——————————————————————————————————————	EXISTING GRID LINE
PC	Precast Concrete	SGL	Single	v				\checkmark	
PERIM	Perimeter	SHT	Sheet	v.I.F.	Verify in Field		1 SIM SECTION		
PERP	Perpendicular	SHTG	Sheathing	VAR	Varies		A101/ REFERENCE		
PL	Plate	SHWR	Shower	VAIX	Vapor Barrier, Vapor Retarder		AIUI	Name Elevation	LEVEL MARKER
PL	Property Line	SIM	Similar	VCT	Vinyl Composition Tile			Elevation U	
PLAM	Plastic Laminate	SLNT	Sealant	VERT	Vertical				
PLAS	Plaster - Gypsum	SM	Surface Mount	VEST	Vestibule		CIM	-	
PLBG	Plumbing	SMTL	Sheet Metal	VLST	Veneer		SIM		
PLF	Pound per Linear Foot	SOG	Slab on Grade	VINIX	101001				
PLY	Plywood	SP	Space (ing)				A101 REFERENCE		NORTH SYMBOL
	, i jii oou	51					~		

DATA
AWNEER; JCT: TRIFAB 451UT; IG PLANE: CENTER; NG SIZE: 4 1/2" X 2"; : ANODIZED; :: BLACK; IG: SEE IGU-1;
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/ILSONART; JCT: SOLID SURFACE;

DDUCT: SOLID SURFACE; LOR: OWNER SELECTED;

<u>AGS (SEE G SI</u>	$\langle \mathbf{TRAN1} \rangle$ TRANSITION ASSEMBLY	
.Y BOVE)	BASE1 BASE ASSEMBLY	
,	DASE ASSEMIDET	
	<u>^</u>	
ASSEMBLY	A3 PARTITION ASSEMBLY	
Ð	ACOUSTICAL RATED FIRE RATING	
VHEN NOTED	ROOM NAME 101 ROOM NUMBER	
VHEN NOTED		
VHEN NOTED	101ROOM NUMBER101DOOR NUMBER OR TYPE	
VHEN NOTED	101 ROOM NUMBER 101 DOOR NUMBER OR TYPE 1'-0" x 1'-0" DOOR SIZE WHEN NOTED	
	101 ROOM NUMBER 101 DOOR NUMBER OR TYPE 1'-0" x 1'-0" DOOR SIZE WHEN NOTED (1) GLAZED OPENING TYPE AAAA-#,A MATERIAL / PRODUCT ID COLOR, FINISH, PRODUCT COLOR, FINISH, PRODUCT	
WHEN NOTED	101 ROOM NUMBER 101 DOOR NUMBER OR TYPE 1'-0" x 1'-0" DOOR SIZE WHEN NOTED (1) GLAZED OPENING TYPE AAAA-# A MATERIAL / PRODUCT ID	
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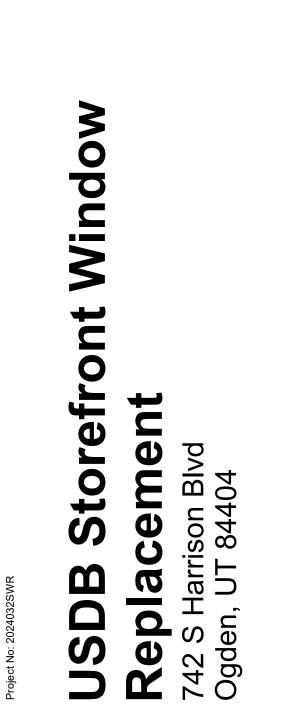
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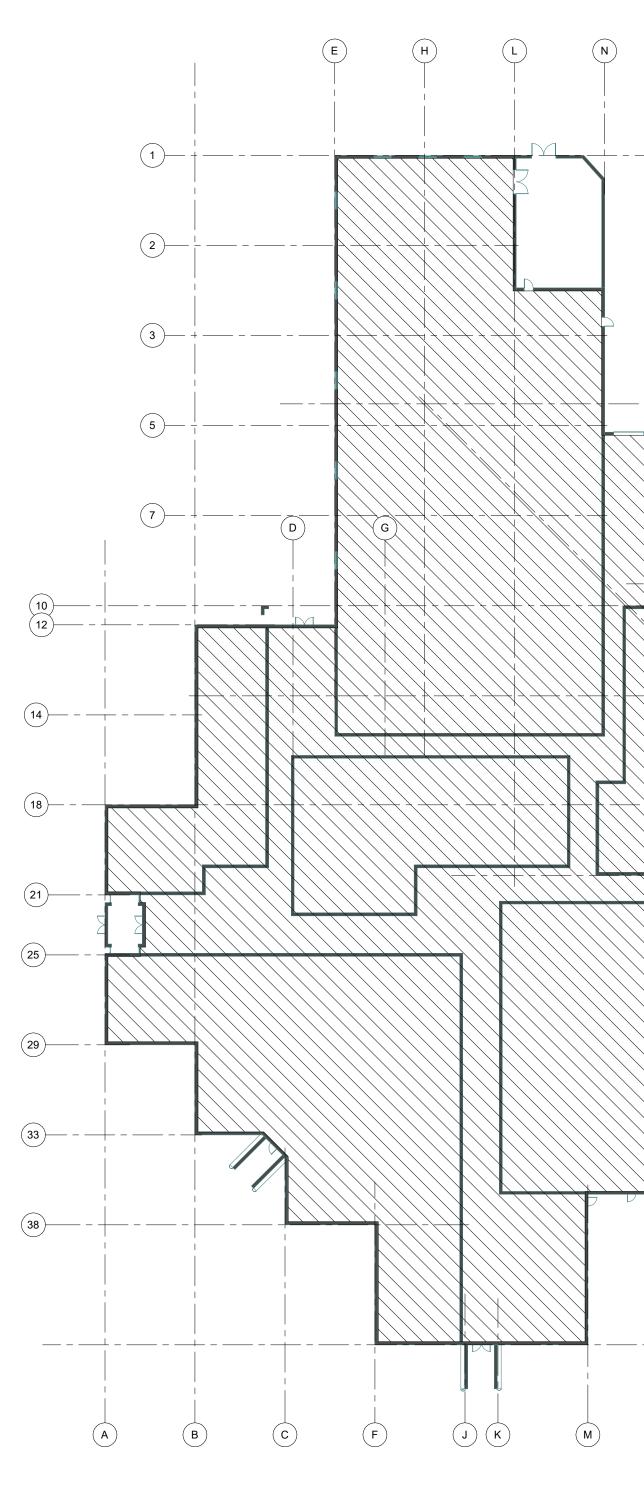
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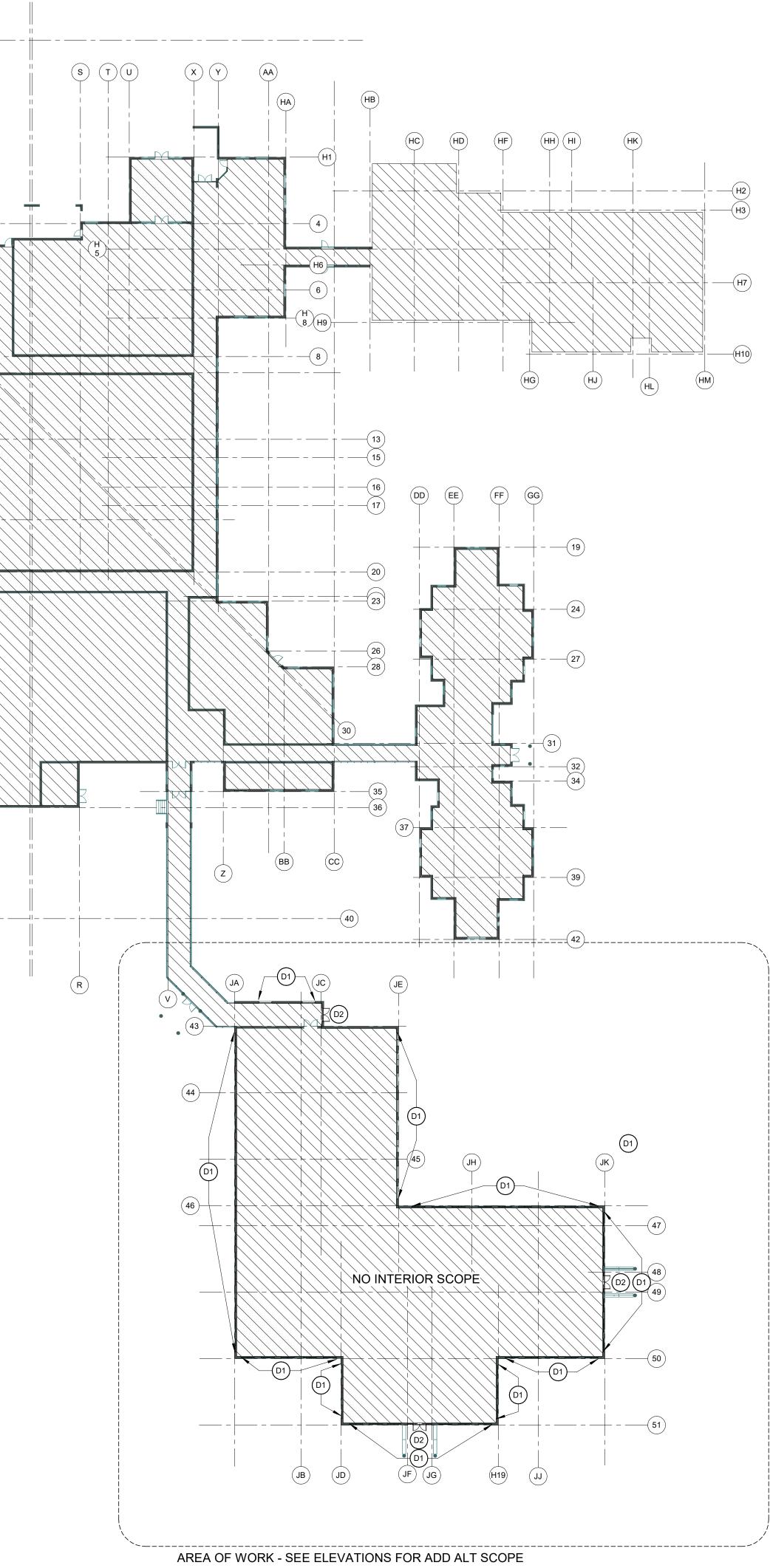


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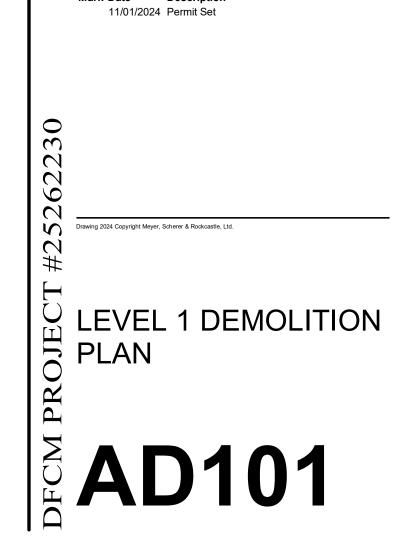
DEMOLITION GENERAL NOTES

- 1. NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS ARE DIFFERENT THAN SHOWN ON PLANS. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID TO VERIFY EXTENT OF REQUIRED
- DEMOLITION & PREPARATION WORK.
- WHERE DEMOLITION WORK ABUTS OR INTERSECTS EXISTING CONSTRUCTION WHICH IS TO REMAIN, REFER TO NEW CONSTRUCTION DOCUMENTS FOR EXTENTS OF REMOVAL. PROTECT ALL EXISTING CONSTRUCTION TO REMAIN.
- ALL DIMENSIONS SHOWN REPRESENT INTENT, ACTUAL DIMENSIONS NEED TO BE VERIFIED IN FIELD.
- COORDINATE AND VERIFY WITH OWNER ALL ITEMS TO BE SALVAGED PRIOR TO COMMENCEMENT OF DEMOLITION.
- 5. ALL ITEMS NOTED TO BE SALVAGED AND REMOVED TO BE PROTECTED FROM DAMAGE DURING REMOVAL AND STORED IN PROTECTED LOCATION FOR REUSE.
- 6. WHERE DEMOLITION HAS OCCURRED, AND NEW CONSTRUCTION IS NOT REQUIRED, PATCH AND REPAIR REMAINING SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES.
- IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE DISCOVERED DURING DEMOLITION, IMMEDIATELY ISOLATE THE AFFECTED AREA AND NOTIFY OWNER FOR FURTHER INSTRUCTION BEFORE PROCEEDING WITH OTHER WORK.

DEMOLITION KEYNOTES

D1 REMOVE EXISTING ALUMINUM STOREFRONT WINDOW SYSTEM COMPLETE, PROTECT ADJACENT FINISHES. COORDINATE WITH BUILDING ELEVATIONS

D2 SALVAGE AND STORE EXISTING DOOR HARDWARE FOR REUSE. COORDINATE STORAGE WITH OWNER.



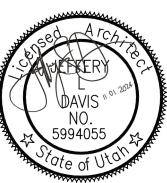
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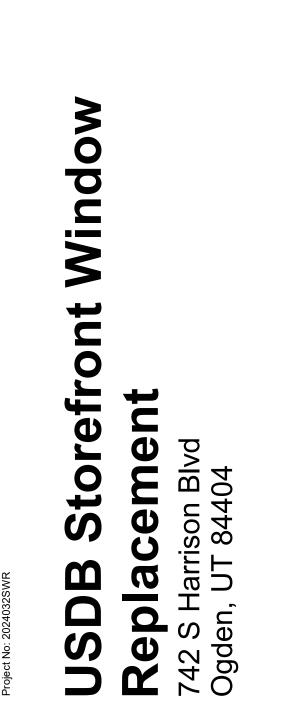
Architect Seal

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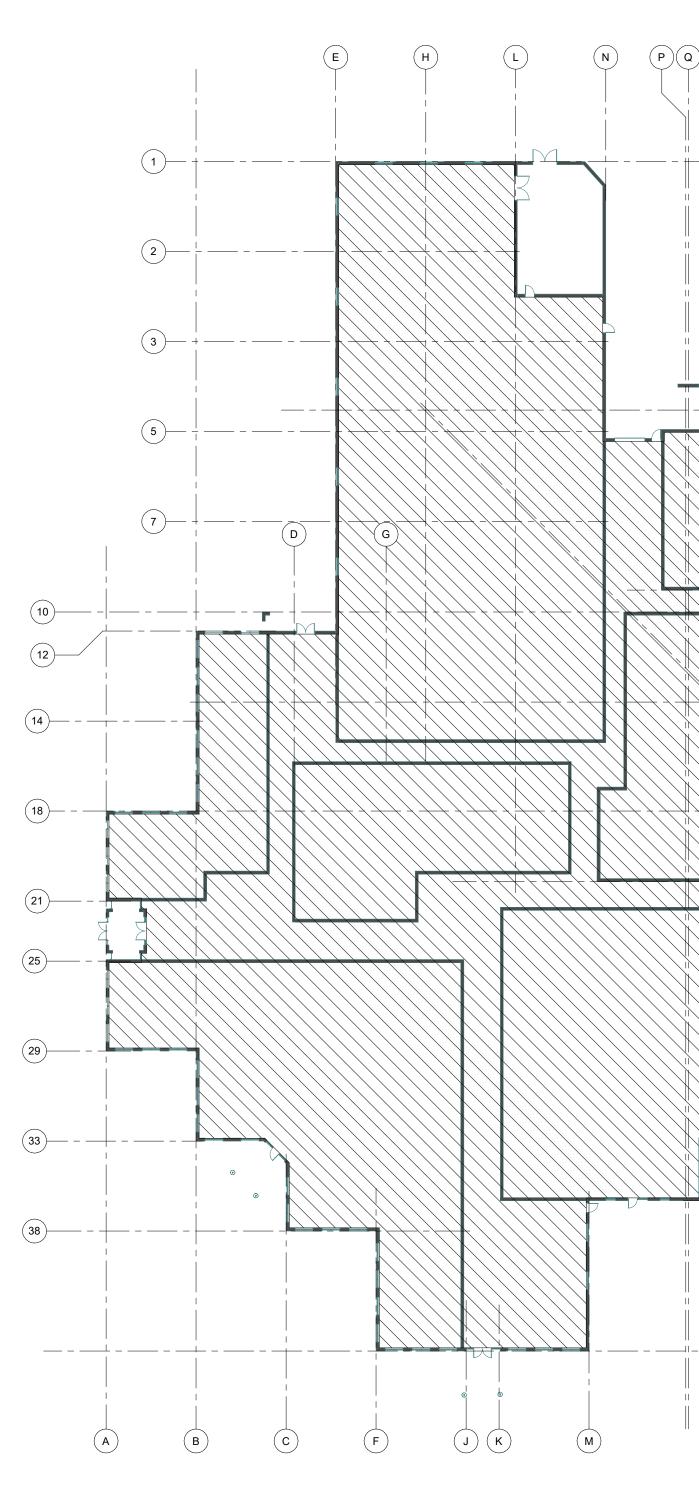
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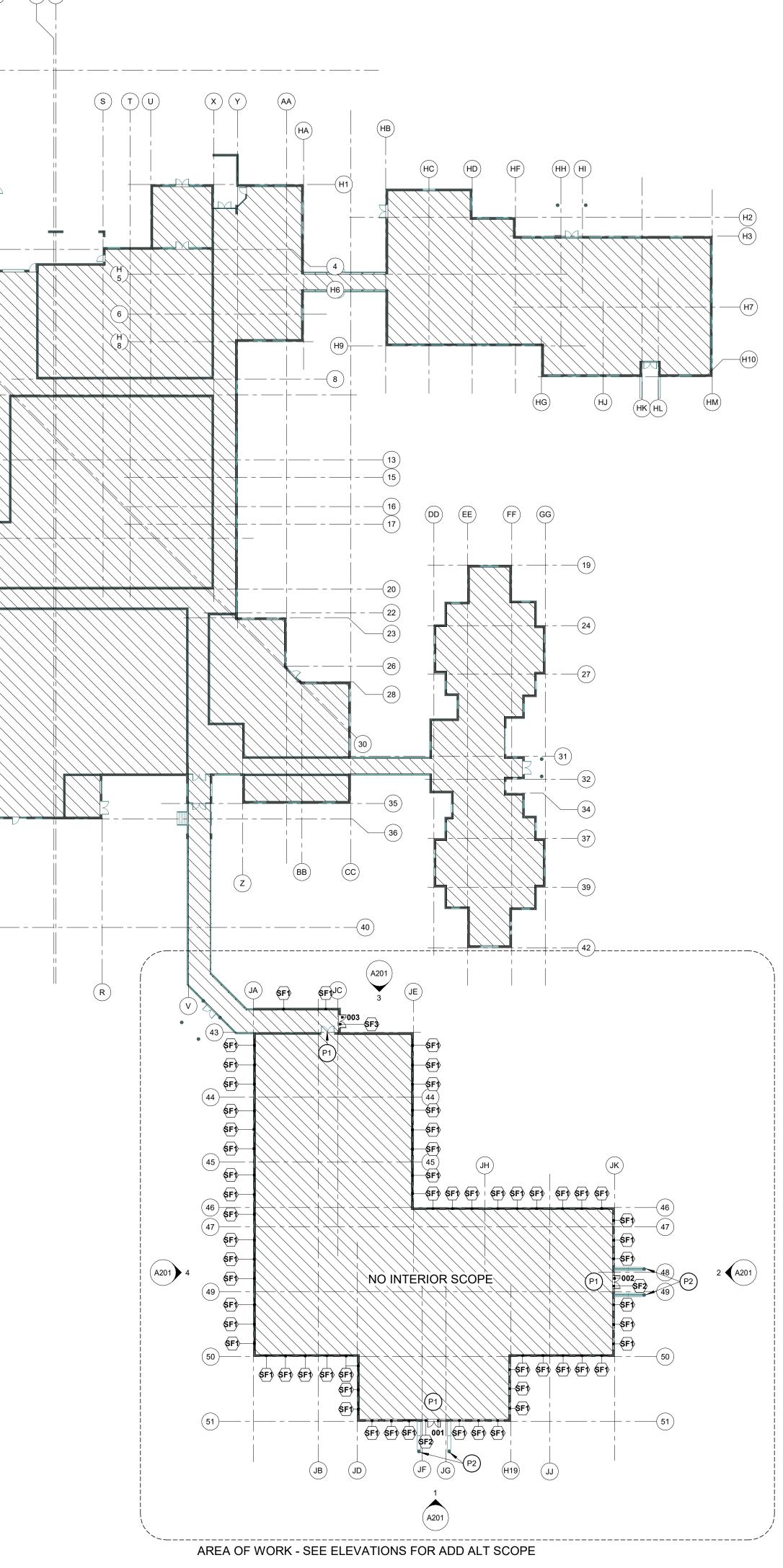
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GENERAL NOTES

- NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN DRAWINGS.
- ATHOUGH NOTES MAY BE GIVEN ONLY ONCE, MANY NOTES ARE TYPICAL FOR SIMILAR DETAILS & CONDITIONS.
- GENERAL CONTRACTOR IS RESPONSIBLE TO KEEP THE BUILDING WATERTIGHT AT ALL TIMES. STARTING FROM NOTICE TO PROCEED TO SUBSTANTIAL COMPLETION ANY WATER DAMAGE TO THE BUILDING OR ITS CONTENTS SHALL BE RESPONSIBILITY OF THE CONTRACTOR.
- SEE COVER SHEET FOR DEFERRED SUBMITTALS LIST AND DFCM NON-STRUCTURAL COMPONENT CHECKLIST.
- 5. SEE TYPES SHEET, MATERIAL ID LIST, AND SPECIFICATION FOR PRODUCT LISTINGS,
- REVIEW WITH ARCHITECT ANY ITEMS NOT NOTED.
- ALL EXISTING STOREFRONT WINDOWS ARE TO BE REMOVED AND REPLACED IN PLACE WITH ALSF-1, SEE PLAN FOR SCOPE OF WORK UNDER THIS PERMIT.
- SLOPE OF EXISTING GRADE ADJACENT TO BUILDING MAY CREATE DIFFICULTY IN ACCESSING WINDOWS. LIFTS MAY BE REQUIRED.
- 8. AREAS DISTURBED BY REMOVAL OF EXISTING CONSTRUCTION ARE TO BE PATCHED & FINISHED TO MATCH SURROUNDING FINISH OR PREPARED TO RECEIVE NEW FINISH.
- 9. PROVIDE ALLOWANCE FOR PATCH AND REPAIR OF ADJACENT INTERIOR FINISHES AS REQUIRED FOR INSTALLATION OF NEW GLAZING SYSTEM.
- 10. REMOVE AND MAINTAIN EXISTING HARDWARE TO REUSE. PREPARE NEW DOORS TO RECEIVE EXT CYLINDERS, PANIC HARDWARE, AND ELECTRIC. NEW PULLS MAY BE REQUIRED.
- 11. REFER TO DFCM GENERAL CONDITIONS FOR ADDITIONAL REQUIREMENTS.

GENERAL KEYNOTES - PLAN

P1 ADD ALTERNATE: REPLACE INTERIOR VESTIBULE DOOR TO PROVIDE 10" BOTTOM RAIL P2 GLAZING TO REMAIN; REPLACE CAP

ADD ALTERNATE NOTES

SEE SPEC SECTION 01 23 00 FOR MORE INFORMATION REGARDING ADDITIVE ALTERNATES: LANGUAGE REGARDING WORK TO BE PERFORMED UNDER THE BASE BID HAS BEEN INCLUDED FOR CLARITY.

BASE BID:

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IGU-1

HATCH BELOW DENOTES AREAS OF ADDITIVE ALTERNATE 01 SCOPE, REVIEWS EXTENTS WITH ALTERNATE NARRATIVES PRIOR TO BID.

CONTACT DFCM PM AND ARCHITECT WITH QUESTIONS OR DISCREPENCIES BETWEEN DISCIPLINES.

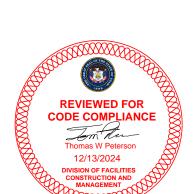
MATERIAL/PRODUCT ID NOTES

ALUMINUM-FRAMED STOREFRONT MFR: KAWNEER; PRODUCT: TRIFAB 451UT; GLAZING PLANE: CENTER; FRAMING SIZE: 4 1/2" X 2"; FINISH: ANODIZED; COLOR: BLACK; GLAZING: SEE IGU-1;

ALSF-1

INSULATING GLASS UNIT MFR: VITRO; PRODUCT: SOLARBAN 72 ACUITY; UNIT THICKNESS: 1"; EXTERIOR LITE: ACUITY; FILL CONTENT: AIR; INTERIOR LITE: ACUITY; COATING: LOW E; VLT: 67; SHGC: 0.28; U-FACTOR WINTER: 0.28;



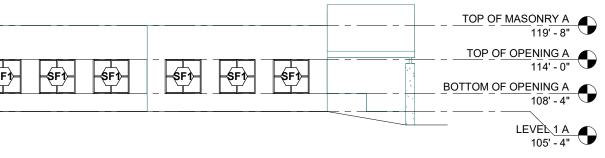


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• TOP OF MASONRY A			
$ \begin{array}{c} \hline 119' - 8" \\ \hline TOP OF OPENING A \\ 114' - 0" \\ \hline BOTTOM OF OPENING A \\ 108' - 4" \\ \hline LEVEL 1 A \\ 105' - 4" $		\$F} \$F} \$F} 001	SF) SF) SF)
1 BUILDING SOUTH ELE A201 1/16" = 1'-0"	VATION		
TOP OF MASONRY A 119' - 8" TOP OF OPENING A 114' - 0" BOTTOM OF OPENING A 108' - 4" LEVEL 1 A 105' - 4"			
2 BUILDING EAST ELEVA	ATION		
		\$F} \$F	
3 BUILDING NORTH ELE A201 1/16" = 1'-0"	VATION		
4 BUILDING WEST ELEV A201 1/16" = 1'-0"	ΆΤΙΟΝ		





GENERAL NOTES

- 1. NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN DRAWINGS.
- 2. ATHOUGH NOTES MAY BE GIVEN ONLY ONCE, MANY NOTES ARE TYPICAL FOR SIMILAR DETAILS & CONDITIONS.
- 3. GENERAL CONTRACTOR IS RESPONSIBLE TO KEEP THE BUILDING WATERTIGHT AT ALL TIMES. STARTING FROM NOTICE TO PROCEED TO SUBSTANTIAL COMPLETION ANY WATER DAMAGE TO THE BUILDING OR ITS CONTENTS SHALL BE RESPONSIBILITY OF THE CONTRACTOR.
- 4. SEE COVER SHEET FOR DEFERRED SUBMITTALS LIST AND DFCM NON-STRUCTURAL COMPONENT CHECKLIST.
- 5. SEE TYPES SHEET, MATERIAL ID LIST, AND SPECIFICATION FOR PRODUCT LISTINGS,
- REVIEW WITH ARCHITECT ANY ITEMS NOT NOTED. 6. ALL EXISTING STOREFRONT WINDOWS ARE TO BE REMOVED AND REPLACED IN PLACE
- WITH ALSF-1, SEE PLAN FOR SCOPE OF WORK UNDER THIS PERMIT.
- 7. SLOPE OF EXISTING GRADE ADJACENT TO BUILDING MAY CREATE DIFFICULTY IN ACCESSING WINDOWS. LIFTS MAY BE REQUIRED.
- 8. AREAS DISTURBED BY REMOVAL OF EXISTING CONSTRUCTION ARE TO BE PATCHED & FINISHED TO MATCH SURROUNDING FINISH OR PREPARED TO RECEIVE NEW FINISH.
- 9. PROVIDE ALLOWANCE FOR PATCH AND REPAIR OF ADJACENT INTERIOR FINISHES AS REQUIRED FOR INSTALLATION OF NEW GLAZING SYSTEM.
- 10. REMOVE AND MAINTAIN EXISTING HARDWARE TO REUSE. PREPARE NEW DOORS TO RECEIVE EXT CYLINDERS, PANIC HARDWARE, AND ELECTRIC. NEW PULLS MAY BE
- REQUIRED.

11. REFER TO DFCM GENERAL CONDITIONS FOR ADDITIONAL REQUIREMENTS.

GENERAL KEYNOTES - BUILDING ELEVATION (E1) GLAZING TO REMAIN, REPLACE CAP

ADD ALTERNATE NOTES

SEE SPEC SECTION 01 23 00 FOR MORE INFORMATION REGARDING ADDITIVE ALTERNATES: LANGUAGE REGARDING WORK TO BE PERFORMED UNDER THE BASE BID HAS BEEN INCLUDED FOR CLARITY.

- BASE BID: A. REMOVE AND REPLACE EXISTING STOREFRONT WINDOWS WITHIN AREA OF WORK INDENTIFIED ON A101.
- B. PATCH AND REPAIR ADJACENT INTERIOR FINISHES AS REQUIRED FOR INSTALLATION OF NEW GLAZING SYSTEM.
- C. PREP NEW DOORS FOR REINSTALLATION OF EXISTING HARDWARE AND ASSOCIATED SECURITY AND ACCESS SYSTEMS. NEW PULLS MAY BE REQUIRED TO MEET CODE.
- ADD ALTERNATE 01 GLAZING SHOWN IN BLUE DIAGONAL HATCH ON ELEVATIONS: A. REMOVE AND REPLACE EXISTING STOREFRONT WINDOWS WITHIN AREA OF WORK INDENTIFIED ON
- A101. B. PATCH AND REPAIR ADJACENT INTERIOR FINISHES AS REQUIRED FOR INSTALLATION OF NEW
- GLAZING SYSTEM.
- C. PREP NEW DOORS FOR REINSTALLATION OF EXISTING HARDWARE AND ASSOCIATED SECURITY AND ACCESS SYSTEMS. NEW PULLS MAY BE REQUIRED TO MEET CODE.
- ADD ALTERNATE 02 INTERIOR STOREFRONT DOOR REPLACEMENT: A. REPLACEMENT OF EXISTING INTERIOR VESTIBULE DOORS TO MEET ADA, SEE FLOOR PLAN FOR LOCATIONS.
- B. PREP NEW DOORS FOR REINSTALLATION OF EXISTING HARDWARE AND ASSOCIATED SECURITY AND ACCESS SYSTEMS. NEW PULLS MAY BE REQUIRED TO MEET CODE.

HATCH BELOW DENOTES AREAS OF ADDITIVE ALTERNATE 01 SCOPE, REVIEWS EXTENTS WITH ALTERNATE NARRATIVES PRIOR TO BID.

CONTACT DFCM PM AND ARCHITECT WITH QUESTIONS OR DISCREPENCIES BETWEEN DISCIPLINES. V77777777777777

IGU-1

MATERIAL/PRODUCT ID NOTES

ALSF-1 ALUMINUM-FRAMED STOREFRONT MFR: KAWNEER; PRODUCT: TRIFAB 451UT; GLAZING PLANE: CENTER; FRAMING SIZE: 4 1/2" X 2"; FINISH: ANODIZED; COLOR: BLACK; GLAZING: SEE IGU-1;

INSULATING GLASS UNIT MFR: VITRO; PRODUCT: SOLARBAN 72 ACUITY UNIT THICKNESS: 1"; EXTERIOR LITE: ACUITY; FILL CONTENT: AIR; INTERIOR LITE: ACUITY; COATING: LOW E; VLT: 67; SHGC: 0.28; U-FACTOR WINTER: 0.28;



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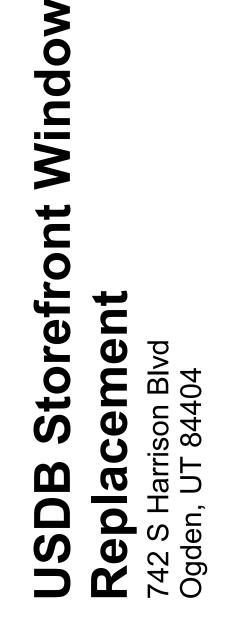
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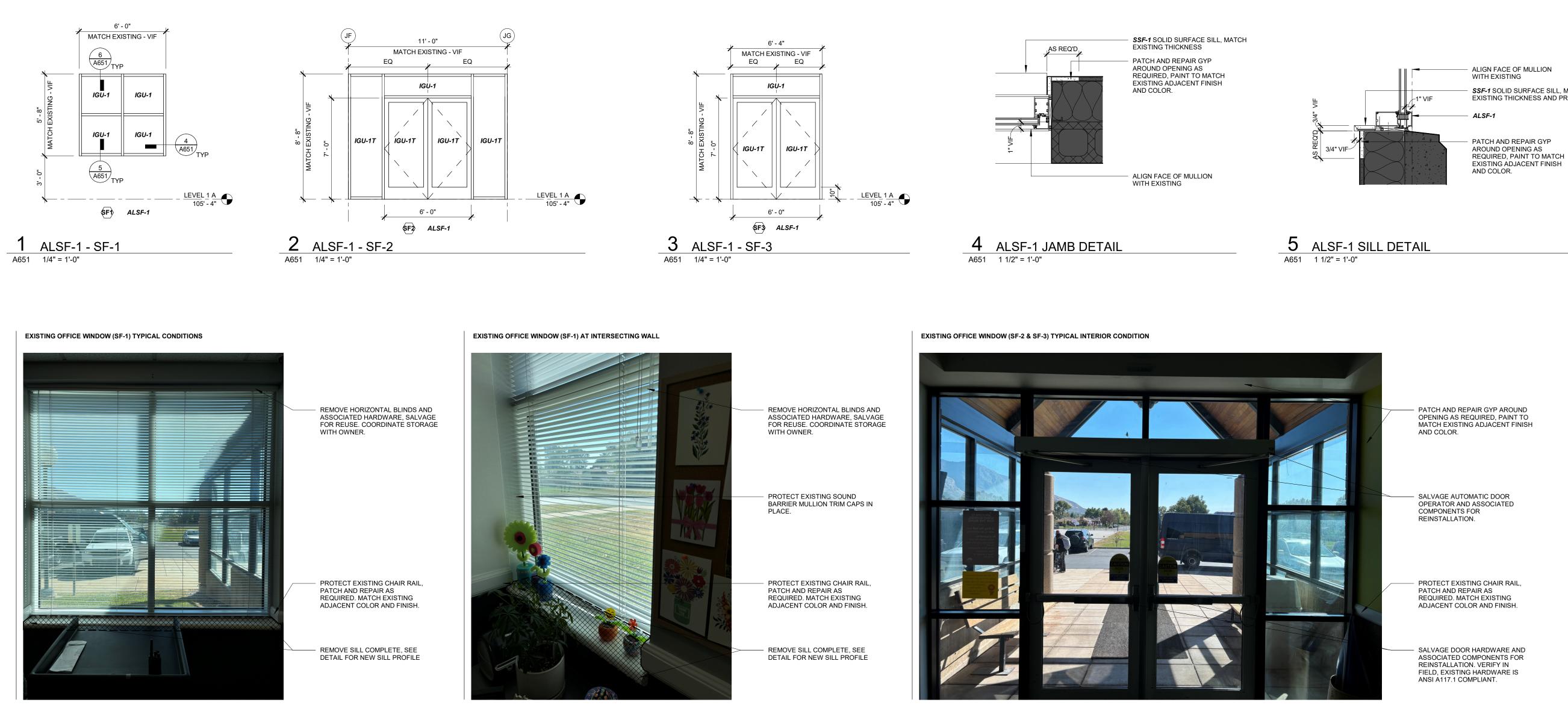
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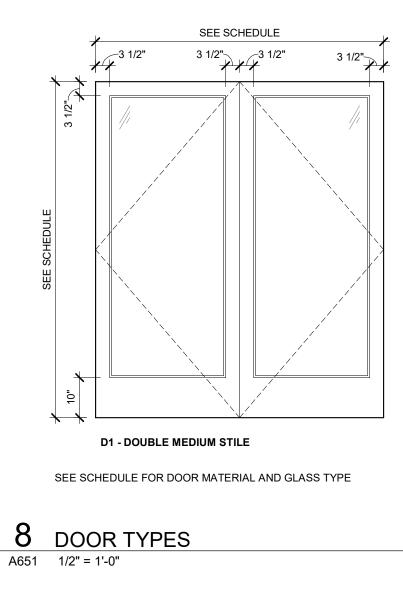




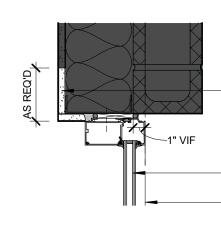
EXISTING WINDOW CONDITIONS A651 NOT TO SCALE

	DOOR SCHEDULE												
			DOOR				FRAME						
DOOR NO	WIDTH	HEIGHT	THICKNESS	TYPE	MAT'L	HEAD	SILL	JAMB	TYPE	MAT'L	FIRE	HDWR	COMMENTS
001	6' - 0"	7' - 0"	1 3/4"	D1	AL/GL	-	-	-	SEE ELEV	AL		EXISTING	REMOVE AND MAINTAIN EXISTING HARDWARE TO REUSE.
002	6' - 0"	7' - 0"	1 3/4"	D1	AL/GL	-	-	-	SEE ELEV	AL		EXISTING	REMOVE AND MAINTAIN EXISTING HARDWARE TO REUSE.
003	6' - 0"	7' - 0"	1 3/4"	D1	AL/GL	-	-	-	SEE ELEV	AL		EXISTING	REMOVE AND MAINTAIN EXISTING HARDWARE TO REUSE.
003	6 - 0	/ ⁻ - 0	1 3/4"	וטו	AL/GL	-	-	-	SEE ELEV	AL		EXISTING	REMOVE AND MAINTAIN EXISTING HARDWARE TO REU

All storefront glazing shall meet the requirements of the 2021 IECC and have a NFRC document showing compliance for completion.



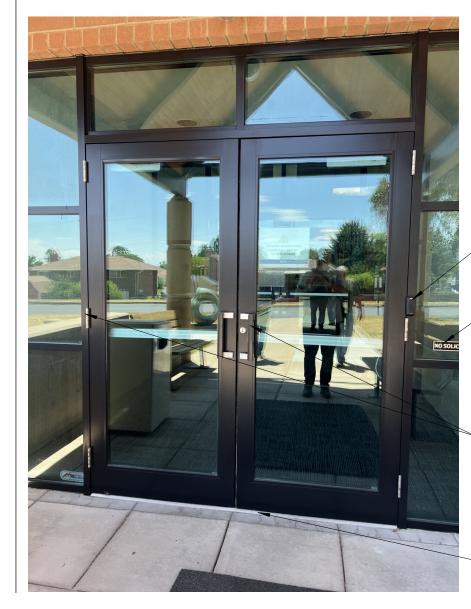
SSF-1 SOLID SURFACE SILL, MATCH EXISTING THICKNESS AND PROJECTION



- PATCH AND REPAIR GYP AROUND OPENING AS REQUIRED, PAINT TO MATCH EXISTING ADJACENT FINISH AND COLOR. ALSF-1 ALIGN FACE OF MULLION WITH EXISTING

6 ALSF-1 HEAD DETAIL A651 1 1/2" = 1'-0"

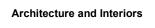
EXISTING STOREFRONT ENTRY (SF-2 & SF-3) TYPICAL EXTERIOR CONDITION



REMOVE AND SALVAGE EXISTING SECURITY COMPONENTS. GLAZING SUB TO COORDINATE REINSTALLATION WITH USDB SECURITY. REMOVE AND SALVAGE EXISTING SIGNAGE AT ALL ENTRY LOCATIONS. COORDINATE STORAGE WITH OWNER.

— SALVAGE DOOR HARDWARE AND ASSOCIATED COMPONENTS FOR REINSTALLATION. VERIFY IN FIELD, EXISTING HARDWARE IS ANSI A117.1 COMPLIANT.

REMOVE AND SALVAGE EXISTING SILL THRESHOLD FOR REINSTALLATION.



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